



**CONSERVATION AREA**

HISTORY, CHARACTER AND THE COUNCIL'S PLANNING AND CONSERVATION  
POLICIES FOR THE CONSERVATION AREA.

This leaflet has been delivered to your address, because your property is in the Mayfield Conservation Area. It is one of the four produced by the Council on various aspects of the Mayfield Conservation Area.

These Are:

Leaflet A History, character and the Council's planning and conservation policies for the Conservation Area.

Leaflet B Current regulations and controls on building development and trees in the Conservation Area.

Leaflet C General advice on extending dwellings maintaining the character of the Conservation Area.

Leaflet D Design Guidance on loft conversion.

Further information leaflets will be produced on other aspects of the Conservation Area as and when required. Please retain this leaflet for your reference.

If you are in doubt about the status of your property please contact the Council's Borough Planning Officer whose telephone number is given at the end of these leaflets.

**History**

The Mayfield Conservation Area was designated by the Council in October 1991. The area is a well defined residential estate situated 1.5 miles to the east of Ilford Town Centre. It was planned and built by two local builders in the 1920s and 1930s. The estate is composed largely of single storey dwellings in "bungalow" style, which was fashionable during those two decades. The estate is locally known as the "Bungalow Estate". In recognition of the distinctive character of the estate, and in response to residents' wishes, the area was designated in 1974 as the Mayfield Residential Precinct with policies to guide any proposed changes in its character. This designation, whilst a useful statement of intent, carries no special planning powers. The Council, concerned to retain the area's character and with the support of local residents, introduced an Article 4(1) Direction, which came into force in September 1987 and a further Article 4(2) Direction in 2004. These Directions withdraw some of the permitted development rights enjoyed by householders. This means that minor works and extensions to single family dwelling houses require planning consent. These Directions apply to the majority of properties in the Conservation Area.

**What Is a Conservation Area?**

It is an area of special architectural or historic interest. The aim is to preserve or enhance its character and appearance. In such areas special consent is needed to carry out works to any building or trees.

In designating the Mayfield area as a Conservation Area, the Council strengthens its policy to protect and enhance the area. In addition the Council has a duty to formulate proposals for the preservation and enhancement of the Conservation Area. Any planning applications have to be advertised locally to give the public the opportunity to inspect the plans.

**Special Character of the Area**

The Conservation Area has a distinct spacious suburban, character due to:

- a) its low density development;
- b) virtually all dwellings being detached or in pairs of semidetached single storey "bungalows".
- c) the architecture of the buildings on the estate is of similar design and has features which include ornamental timbering, gables, bay windows, finials (decorative spikes to the top of gables). (See overleaf).

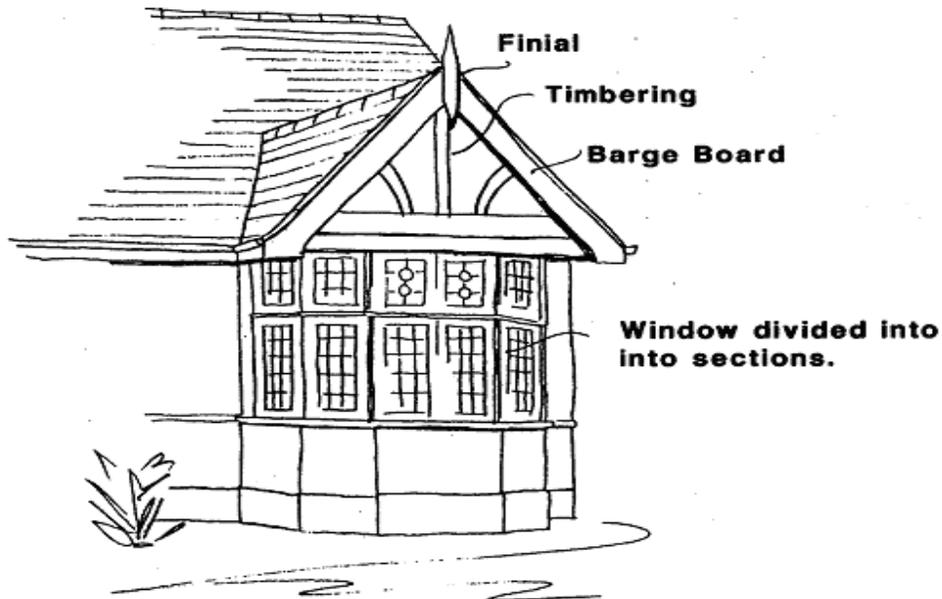
Also the area has a feeling of spaciousness because of the low eaves level and clear roof slopes in the street scene. Recessed porches between ground floor window bays are a feature of many dwellings. The existing windows are divided by uprights to give a vertical emphasis.

The estate has largely retained its distinctive character with the original design and spacing of dwellings, which is also enhanced by generous planting and landscaping.

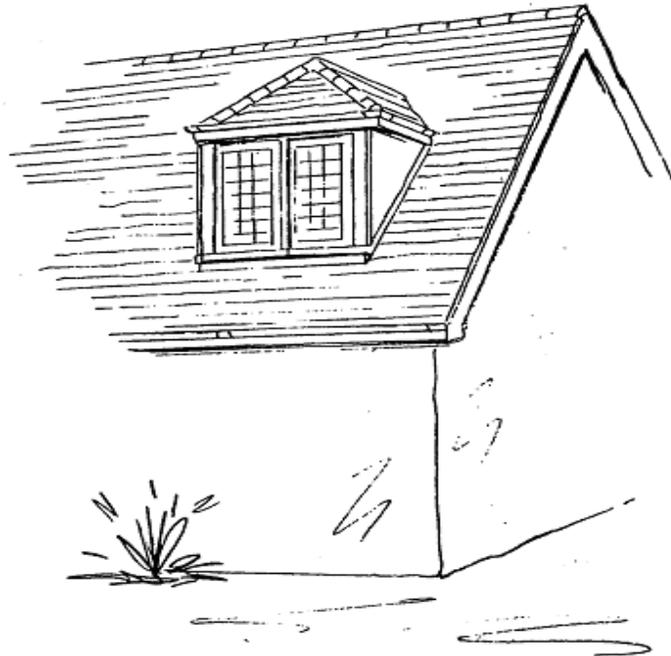
The separate identity of the estate with its special character provides a pleasant contrast to the surrounding two-storey terraced housing in the southern part of the borough.

However, some previous development during the 1970s and early 1980s, of large unsympathetic loft conversions has detracted from the architectural quality of some of the bungalows,

**BUILDING TERMS USED IN THESE LEAFLETS**



**GABLE ROOF OVER BAY**



**HIPPED ROOF OVER DORMER**

For further information on all aspects of the Mayfield area. i.e. Article 4 Directions, Conservation Area or Residential Precinct, please contact Planning Services

Development Control

Conservation

Tel. Nos. 020 8708 2485/2483/2488/2484/2487

Tel. No. 020 8708 2146

Email [john.gardener@redbridge.gov.uk](mailto:john.gardener@redbridge.gov.uk)

Email [james.hetherington@redbridge.gov.uk](mailto:james.hetherington@redbridge.gov.uk)



## **CONSERVATION AREA**

### CURRENT REGULATIONS AND CONTROLS IN THE CONSERVATION AREA

The way in which house owners care for and alter their houses in the Mayfield Conservation Area has a major impact on the appearance and character of the area. This guide explains regulations and controls which apply in your conservation area.

Their main purpose is to protect the character of the existing dwellings and the area.

The controls applied in the Mayfield Conservation Area are:

#### **A. Control on the Works to Trees in the Conservation Area**

Trees make a significant contribution to the character and appearance of this conservation area and their alteration or removal is controlled. It becomes an offence to undertake works on or fell trees with a trunk diameter of more than 75 mm (3") at a height of 1.5 metres (4' 10") without first having given six weeks notice to the Council. Forms for this notice are available from the Borough Planning Officer. When the notice is received the Council will send an officer to inspect the tree(s) and if necessary discuss the works you intend to carry out. If complete removal of a tree is found to be necessary, replacement with a new tree of a species and size to be agreed, will be an automatic requirement in most cases. There are heavy penalties for those who fail to comply with these requirements. Tree Preservation Orders can be made where the Council does not agree with what is proposed.

#### **B. Demolition of Buildings**

It is illegal to demolish or substantially demolish any building or structure without the permission of the Council. There are only minor exceptions to this restriction. It is always a good idea to discuss with the Borough Planning Officer or his staff your proposal for demolition of a building or a structure or part of it, and whether you should apply for 'Conservation Area Consent' before carrying out the demolition work. Please note that planning permission for redevelopment in a conservation area does not give consent for demolition unless the planning permission states that a consent is included.

#### **C. Alterations and Additions to Buildings**

Before 24th September 1987 the residents had the right to carry out, without the Council's consent, a wide variety of developments as 'permitted development'. These were, for

example, extensions, porches, walls, garages, dormer windows. On the 24th September 1987 these rights were withdrawn by the Council applying the "Article 4 Directions" to the conservation area with the support of the local residents and also the approval of the Secretary of State for the Environment. The purpose of the Article 4 Direction is to protect the character of the existing dwellings and in effect it means that planning permission is required for

- the enlargement, improvement or other alteration of a dwelling affecting the front elevation of a dwelling or garage or the side or rear elevation of a dwelling above eaves level
- the erection or construction of a porch outside any external door of a house

In November 2004 the Council introduced a further Article 4(2) Direction withdrawing Permitted Development rights such that planning permission is now required for

- The provision within the curtilage of a dwellinghouse of a hard surface which fronts a highway
- the removal of a chimney from a dwellinghouse
- the demolition of the whole or any part of any gate, fence, wall or other means of enclosure which fronts a highway

In addition, of course, all the normal planning controls apply.

The Article 4 Directions in the Mayfield Conservation Area apply to all the houses within the solid line on the map overleaf. A schedule of their addresses is given overleaf.

#### **D. Satellite 'Dishes'**

In a number of circumstances the Council's consent will be required to install a satellite dish. Legislation concerning satellite dishes is very complex. You are therefore strongly advised to consult with the Borough Planning Officer before installing a satellite dish (or dishes). A free information leaflet on this subject has been produced by the Council which is available from the Borough Planning Officer.

Overleaf is a map showing the boundary of the Conservation Area and a list of the properties affected.



Street	Properties in Mayfield Conservation Area, Mayfield Residential Precinct & covered by Article 4 Direction	Properties in Mayfield Conservation Area & Mayfield Residential Precinct but not covered by Article 4 Direction	Properties in Mayfield Residential Precinct but not in Mayfield Conservation Area, nor covered by Article 4 Direction	Street	Properties in Mayfield Conservation Area, Mayfield Residential Precinct & covered by Article 4 Direction	Properties in Mayfield Conservation Area & Mayfield Residential Precinct but not covered by Article 4 Direction	Properties in Mayfield Residential Precinct but not in Mayfield Conservation Area, nor covered by Article 4 Direction
BREAMORE ROAD	36-74 even 80-102 even	76-78 even	El. Sub-Station 2-34 even Breamore Court	GYLLYNGDUNE GARDENS	1-63 odd & 53A 2-60 even		
BROWNLEA GARDENS	1-49 odd (N.B. no Nos. 15-19) 2-50 even (N.B. no Nos. 24-36)			LEVETT GARDENS	1-135 odd 2-126 even		
BUDOCH DRIVE	2-44 even 29-41 odd Rear half of the rear garden of No.27		Budoch Court 21-27 odd	MEADWAY	6-26 even 1-21 odd	2A, 2, 4 & 4A	28, 28A, 30 & 30A evens 21A, 23, 23A, 25 & 25A
CAPEL GARDENS	1-9 odd 2-12 even			MORRAB GARDENS	37-47 odd 44-54 even		1-33 odd (N.B. no No. 35) 2-42 even
COBHAM ROAD	131		103-129 odd	PARKWAY	1-45 odd 18-56 even	2-16 even	
EGERTON GARDENS	1-45 odd 2-46 even (N.B. no No. 38)			TRENANCE GARDENS	1-39 odd 2-40 even		
FORTERIE GARDENS	1-3 odd 2-4 even	Garage area adj. to No.3 Garage area adj. to No.4		TRESCO GARDENS	41 & 43	2-42 even 1-39 odd	
FRIMLEY ROAD	10-14 even	2-8 even		WATER LANE	20-70 even 43-79 odd & 87	85	72 & 74 even 89-99 odd
GOODMAYES LANE	98-112 even 132-140 even		1-15 Sandon Court, Lodge, Clinic & School	WESTROW GARDENS	1-29, 33-65 odd & 11A 2-66 even & 38A	31	
				SOUTH PARK DRIVE DAWLISH DRIVE			117-177 odd 187-201 odd 1-37 odd

For further information on all aspects of the Mayfield area, ie Article 4 Directions, Conservation Area or Residential Precinct, please contact Planning Service  
 Development Control Conservation  
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## **CONSERVATION AREA**

### GENERAL GUIDANCE ON EXTENDING OR ALTERING A HOUSE

The guidance given in this leaflet should be considered when proposing improvements, alterations or additions to your property. This leaflet has stated where planning permission is required for certain types of work, but you are strongly advised to consult with the Borough Planning Officer or his staff to ascertain whether the work you intend to carry out will require the Council's consent under the Planning Legislation, Conservation Area Legislation and Building Control Regulations.

Further Information leaflets will be produced on other aspects of the Conservation Area as and when required. Please retain this leaflet for future reference.

Joint schemes with neighbours especially for pairs of "semis" are always worth considering. They usually prove practical, producing a better appearance and are very often economical.

Please note that:

- repair and reinstatement are generally preferable to replacement, although removal or replacement of previous unsympathetic alterations may be desirable.
- alteration should not change or destroy the overall shape and proportion of the property, in particular its roof shape and the shape and proportions of door and window openings.
- changes should preserve or enhance the character or appearance of the Conservation Area - the front elevation and its setting and other parts of the house visible from the street are particularly sensitive.
- professional advice should be sought where appropriate and the statements of manufacturers or salesmen carefully evaluated.

#### **Loft Conversion**

Conversion of a roof space for residential purposes usually requires the installation of dormer window(s) to gain light and ventilation. Planning permission is required for the installation of dormer windows.

The roofs of the bungalows form a prominent feature of the street scene of the Conservation Area and the aim is to retain this roofscape. Therefore the installation of a dormer windows in the roof, to the front or rear, requires very considerable care in design to ensure an acceptable appearance. If dormer windows are required, they should be kept to a minimum number and size and generally be at the rear rather than at the front of the

house.

The Council's Information Leaflet **D: Mayfield Conservation Area** gives guidance on the design of dormer windows and is available on request by telephoning 020 8708 2057

#### **Extensions**

The majority of the properties in the Conservation Area are either detached or 'semi-detached' bungalows.

Planning permission will be required for most extensions. Extensions should generally reflect the style, proportions, materials and details of the property itself and should not be so large or prominent as to dominate or compete with the main property. The depth of rear extensions ie the dimension from front to back, should not normally exceed 50% of that of the original house (measured excluding any existing rear extensions).

The roof slopes of existing rear additions should be retained and incorporated in the design of the new extension.

(See the Illustration overleaf).

Side extensions or any other form of development, in particular those exceeding a single storey, will not normally be acceptable if it would cause "terrace" effect or lead to a cramped form of development in the row of detached or semi-detached dwellings. Side extensions on corner sites can impact upon wider views of the estate. Permission will only be granted for side extensions on corner sites which are visually subordinate, being set back from the front and rear elevations and from the property boundary by a minimum of 1.0 metre. The design of side extensions should reflect that of the original bungalows avoiding plain elevations. Examples of acceptable designs are shown on Drawing MCA 01.

#### **Porches**

Planning permission is required for the construction of a porch outside any external door of a dwelling. Most of the porches in Mayfield are recessed into the main building. In those instances where new porches are considered acceptable, they should not be prominent.

#### **Roofs**

Planning permission is required for proposals which will materially affect the character and appearance of the roof. The uniform shape, pitch, cladding and ornament of the roofs forms a dominant feature of the character of the Conservation Area. Retention of these features is

important. When a roof is stripped it is important that as much as possible of the original covering is reused, preferably on the visible slopes. The predominant roofing material in the Conservation Area is the plain clay tile. Replacement roofing materials should be similar to those being removed, both in material, colour and size. Replacement clay tiles are readily available and planning permission will not be granted for the use of other types of roof covering. Details such as ridge and cresting tiles, finials and bargeboards are important visual elements and should be retained.

### ***Windows and doors***

Planning permission may be required for proposals to replace doors and windows which would materially affect the character and appearance of the dwelling. Nothing detracts from the appearance and value of a house more than the loss of its original windows and doors. Their replacement or alteration is often unnecessary. If they have to be replaced, their replacement should copy the original designs for the dwelling using original materials and finishes. Avoid unpainted hardwood and plastic windows and doors as they always look out of character. Doors with incongruous design features such as integral fanlights should be avoided. Keep the original size and proportions of openings, as ill-considered changes can destroy the design of a whole frontage.

### ***External Walls***

Planning permission may be required for proposals which would materially alter the overall appearance and character of a dwelling. Walls are the main structural fabric of a dwelling. Alterations to wall surfaces can damage the overall appearance of a property. Alterations or repairs to external elevations should respect the existing fabric and match in materials, texture, quality and colour. Brickwork should not normally be rendered unless the surface was rendered originally. Resurfacing of walls, in particular brickwork, with rough cast, cement render, stick-on-stone, Tyrolean render, cement-based paint or other cosmetic treatment which is difficult or impossible to remove should be avoided. This is so particularly where architectural or decorative features would be partially obscured or covered over. Poor repointing or brickwork ruins many properties and can cause dampness. Pointing should always be done by a skilled specialist.

### ***Conservatories***

Original conservatories on the estate are attached to the rear elevations with shallow mono-pitch roofs sloping down from the eaves. They are of painted softwood sometimes with stained glass in the upper lights. Where possible these conservatories should be retained and repaired or replaced like for like. All new conservatories should be simple in character with lean-to roofs that do not impinge upon the main roof of the bungalow.

### ***Details***

Original ornamental details add to the value and character of the dwelling. Original design features such

as chimney stacks, moulded bricks, finials etc., are often the most attractive and distinctive elements. If removed, they can be difficult or expensive to replace, so they should always be retained and repaired.

### ***Boundary Treatments, Walls and Gardens***

Gardens, fences, walls and hedges are part of the original coordinated design of the estate providing a pleasant, green setting for the bungalow homes. Typical front gardens of the Interwar period were carefully maintained for display behind low boundary enclosures. They usually combined lawns, flowering shrubs and ornamental trees with varied materials used for hard surfacing. Any scheme for the paving over of the area in front of a property should seek to preserve the setting of the main house and the overall "garden suburb" of the estate, avoiding a hard sterile appearance by retaining existing trees, providing new planting and using a variety of hard surfacing materials such as brickwork, natural or dressed stone. Where applications are made to create areas of hardstanding, such as for vehicle parking, permission will not normally be granted for the paving over of more than 40% of the area in front of the house. Permission will also not normally be granted for the complete removal of original fences, walls and hedges or for new front boundary enclosures that exceed 1metre in height. A sample layout of a front garden incorporating the features mentioned above together with vehicle hardstanding is shown in figure MCA 02.

### ***Garden Buildings***

Large garden buildings were not typical of the Interwar period. There are few examples of early garden buildings in the Conservation Area but the majority that exist are small in scale. While the size of house plots in many cases is large it is important that any new buildings in gardens do not undermine the visual predominance of garden land over buildings or promote backland development. Garden buildings should be set at least 2 metres from any boundary and have a floor area not exceeding 25% of that of the main house prior to any extension. The design of garden buildings should reflect the vernacular style of the bungalows including the use of timber framing with rendered infill and pitched roofs covered with clay tiles or timber shingles. (fig. MCA 03)

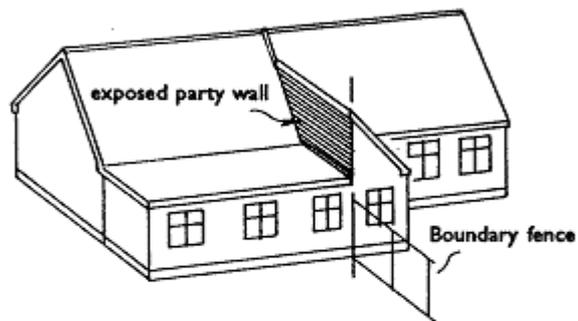
### ***Security***

In undertaking development householders will naturally seek to maintain or improve the security of their homes. In a Conservation Area it is important that this is done in ways that do not compromise the visual qualities that make the area special. It is possible, for instance, to upgrade the security of existing softwood windows and doors or to specify new softwood windows and doors that will preserve or enhance the Conservation Area and also comply with the Metropolitan Police Secured By Design principles. Equally, it is possible to enclose and plant garden areas in ways which will enhance the Conservation Area but also avoid creating potential hiding places. Further information is available from the Metropolitan Police Crime Prevention Officer or by visiting the website [www.securedbydesign.com](http://www.securedbydesign.com).

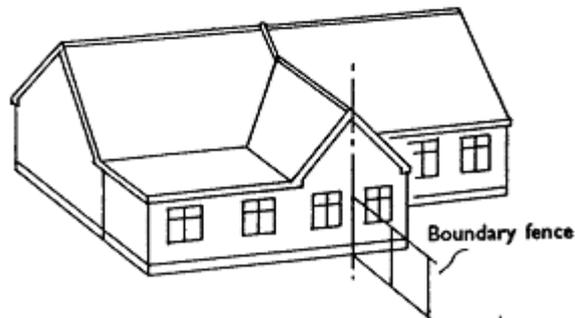
## THE DESIGN OF REAR EXTENSIONS



Rear view of a typical semi-detached bungalow



Rear extension with an unacceptable 'sawn off' roof effect



More acceptable form of development

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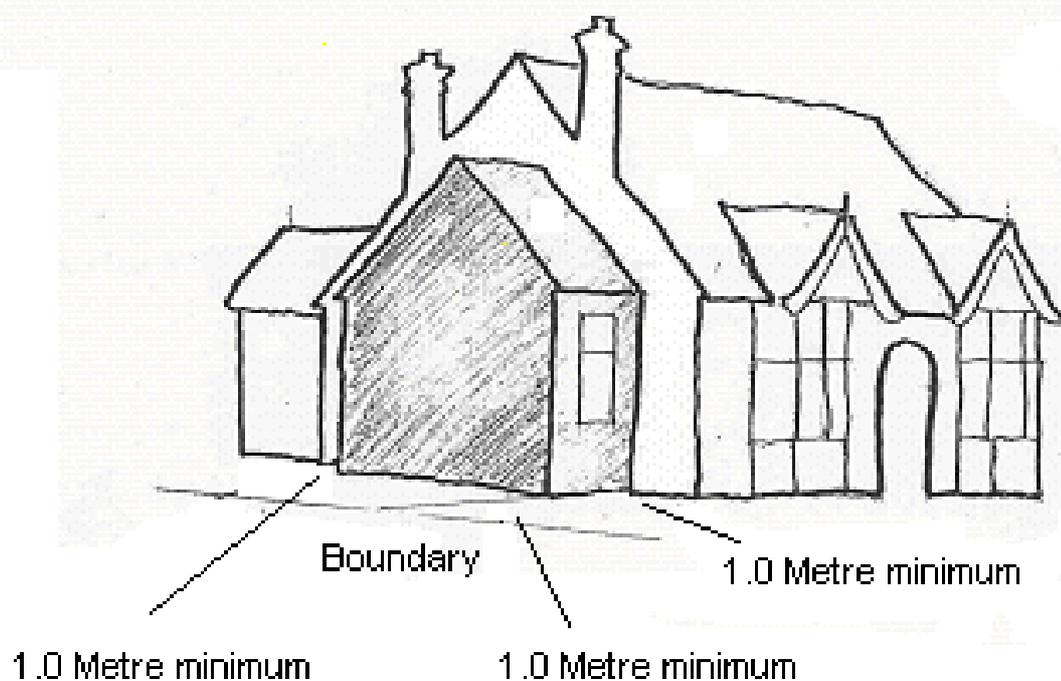
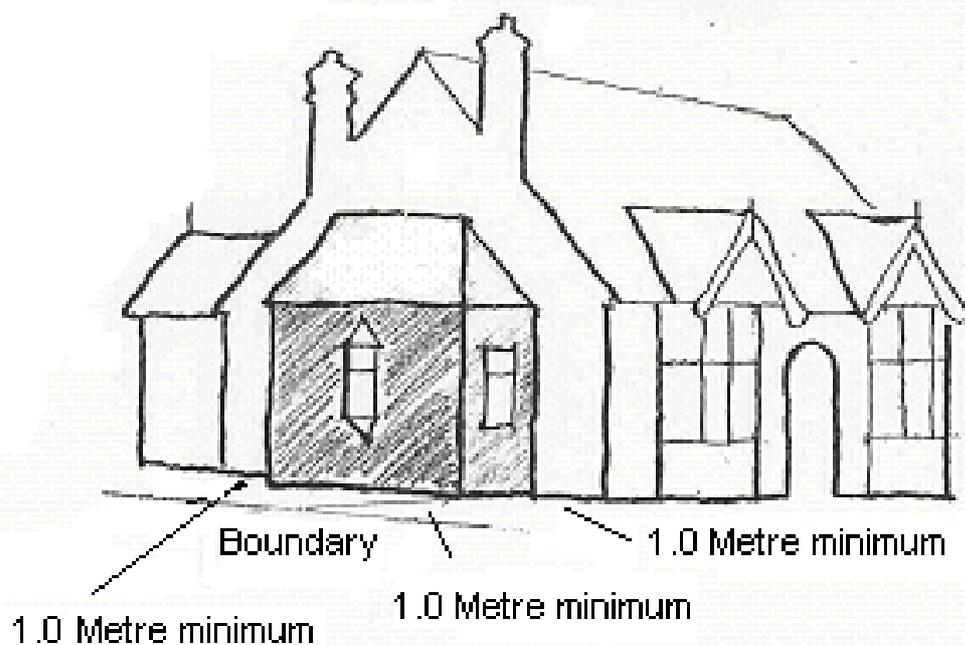
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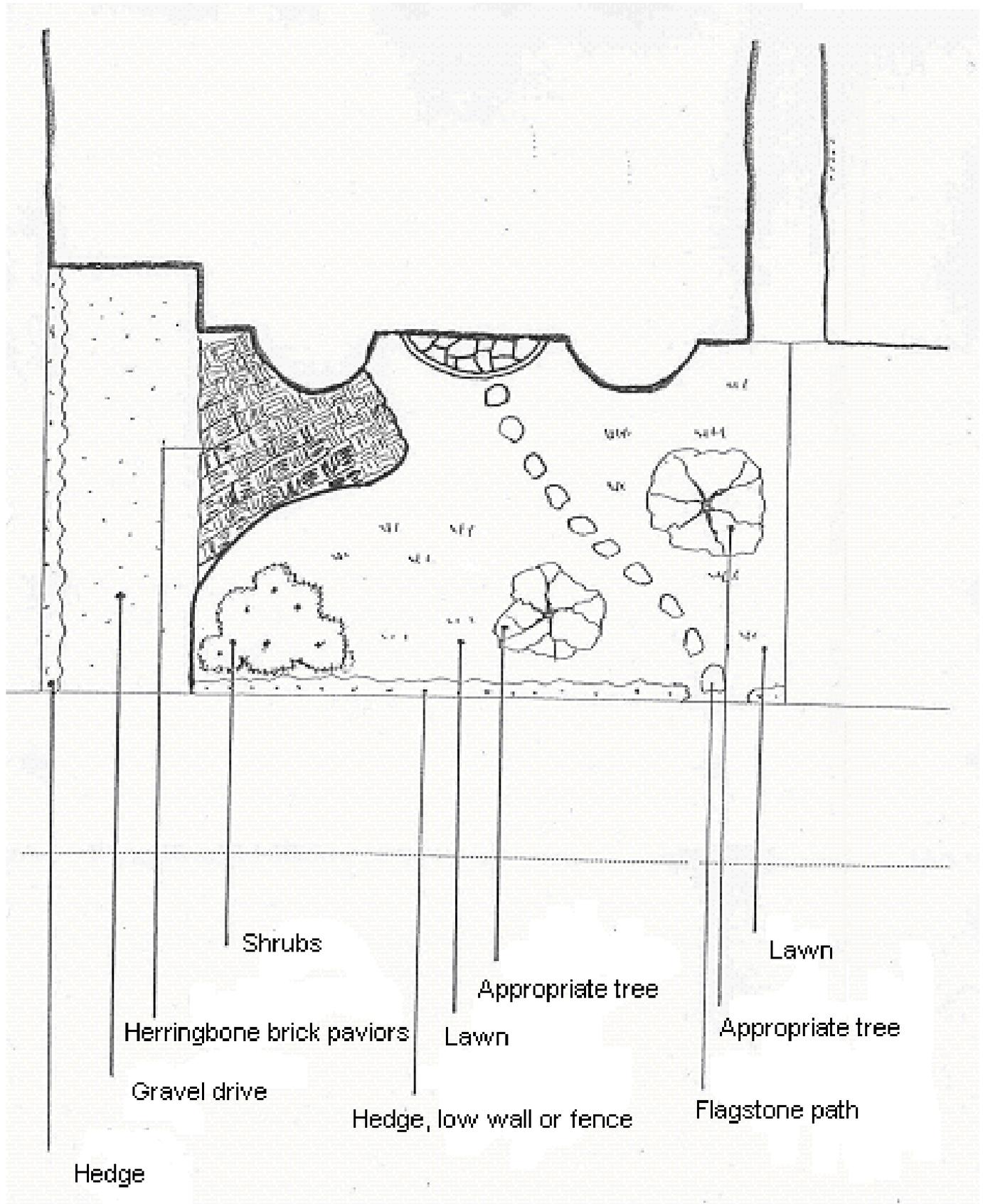
MCA 01

MAYFIELD CONSERVATION AREA  
PROPOSED ACCEPTABLE SIDE  
EXTENSIONS ON CORNER SITE



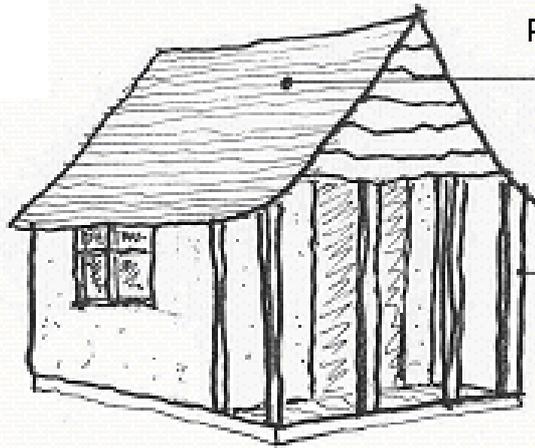
MCA 02

MAYFIELD CONSERVATION AREA  
SUGGESTED FRONT GARDEN LAYOUT



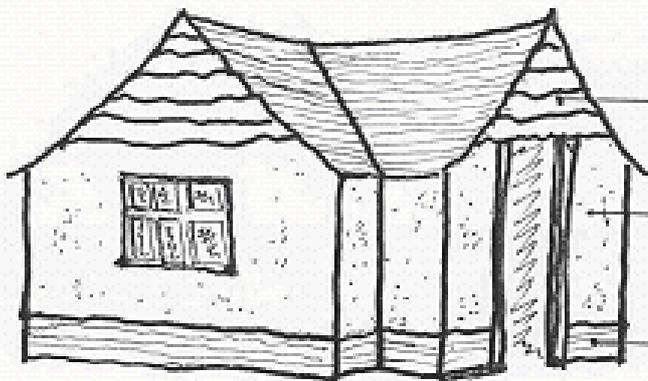
MCA 03

MAYFIELD CONSERVATION AREA  
SUGGESTED DETAILING FOR  
GARDEN BUILDINGS



Plain clay tiles, Pantiles or Timber Shingles

Timber posts



Waney edge boarding

Render

Brick plinth

**DESIGN GUIDANCE ON LOFT CONVERSIONS**

**Planning permission is required for loft conversions which require installation of dormer windows and roof lights in the roof.**

**The guidance given below is purely advisory. However you are strongly advised to consider it, in conjunction with illustrations overleaf, in designing loft conversions.**

**In addition to the planning permission, loft conversions would also require Building Regulations approval. Advice of the Council's Building Control Officers should be sought at an early stage when designing your proposals.**

2. A dormer window is a small vertical window set in the slope of the roof with its own gable roof and sides (cheeks). The dormer window has been in use since the mid-fifteenth century as a method of lighting attic storeys and is traditionally smaller in scale, size and appearance than the windows of the main floors below.

3. Dormer windows are not one of the main characteristic features associated with the original design of the bungalows in Mayfield. Dormer development, however, occurred on the bungalow estate well before the present controls (described in Leaflet B) came into force and were often unsympathetic in appearance. More recently, dormer windows have been permitted which match the gables over the bay windows of the bungalows. These have barge-boards and finials (decorative timber spikes at the top of gables) which are a key characteristic of the area. A hipped end dormer roof may be more appropriate if it is close to the existing main roof ridge.

4. To maintain the character of the area, dormer windows where possible should be placed on the rear roof slope rather than at the front of the house. Considerable care in design and detailing is required to ensure an acceptable appearance of the dormer windows. Dormer windows on small dwellings are traditionally lightly constructed and a heavily detailed dormer window, too bold and/or too high, or with large areas of plate glass will be inappropriate in the conservation area.

5. Provision of a dormer in an existing roof should be considered as a means of gaining light and ventilation and not as a means of creating living space in addition to the space already available within the confines of the existing roof.

6. Dormer windows should be placed well away from the eaves, flank and party walls and below the ridge, and should be particularly small, square faced or vertical in proportions. A timber side hung casement is acceptable, but the insertion of the horizontally pivoted centre-hung casement should be avoided. Window casements normally should be painted in keeping with the traditional finish and not stained. Casements in aluminium, galvanised steel or plastic should be avoided.

7. Walls created below the dormer window sill will not be acceptable. Wall sides to the dormer window will be equally unacceptable.

8. Roof covering should match the main roof in which the dormer windows are inserted.

The dormer cheeks should be clad in the same roof finish or with a suitable plain finish i.e. lead or zinc sheeting and not finished with unpainted or stained boards or incongruous synthetic materials.

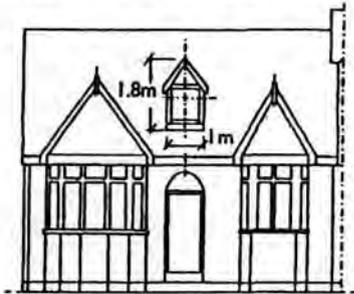
9. Access to dormer windows for maintenance purposes is often difficult. Therefore all flashings should be carefully fixed and be of sufficient size and durability to avoid future problems with water penetration.

10. Insertion of roof lights in the front roof slope of a house should be avoided. If roof lights are to be fitted to the rear roof slope they should be flush fitting. Roof lights raised off the roof slope, rather than flush to it, can have a discordant impact on the street scene.

Examples of dormer window designs are shown overleaf.

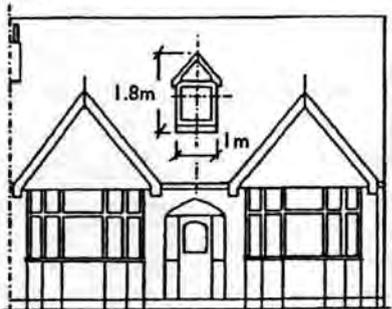
## EXAMPLES OF DORMER WINDOW DESIGNS

Installation of dormer windows in the front of the dwelling will not normally be permitted unless particularly small in scale not exceeding 1.0m in width and 1.9m in height to the ridge of the dormer window roof and appropriately sited in the roof slope. This advice is demonstrated in the illustrations shown below.



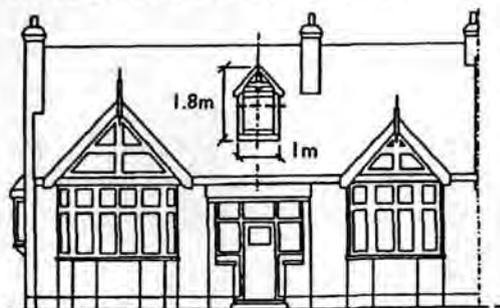
A typical small bungalow of almost symmetrical design

(i) Front dormers will not normally be permitted unless particularly small in scale and appropriately located in the front roof slope.



A typical small bungalow of symmetrical design

(ii) The most acceptable location for the front dormer would be midway between the ridge and the eaves of the front roof, and the gables of the bay window.

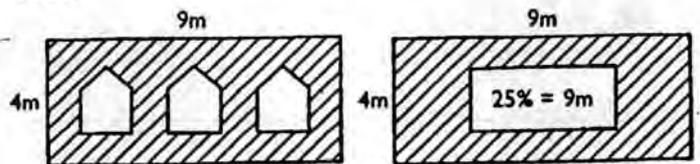


A typical bungalow of almost symmetrical design

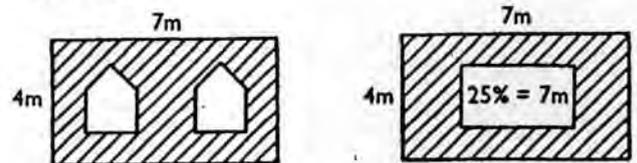
(iii) Front dormer roof to match the gabled roofs of the bay windows, decorated with barge boards, the width of which should be proportional in size to that of the original barge boards of the main gables and finials.

Installation of dormer windows to the rear of a dwelling will only be approved where they are subordinate in appearance to the existing roof. Dormer windows covering more than approximately 25% of the appropriate roof face would be unlikely to be acceptable. Dormer windows should be set approximately one metre from all edges of the roof. Acceptable sizes of a rear dormer window are about 1.5m in width and 2.0m in height to the ridge of the dormer window.

These illustrations show two typical sizes of "bungalow" roofs.



(i) 25% of the roof face = 9 sq.m. will give 3 dormers, each 1.5m x 2m approx.



(ii) 25% of the roof face = 7 sq.m. will give 2 dormers, each 1.5m x 2m approx.

### ACCEPTABLE DORMER

Keep below main ridge

Dormer window set in 1m from edge of roof

No wall at side

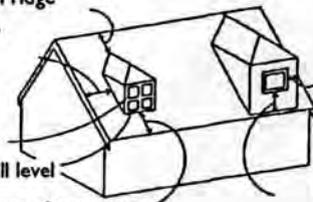
No wall below sill level

Dormer set in from eaves

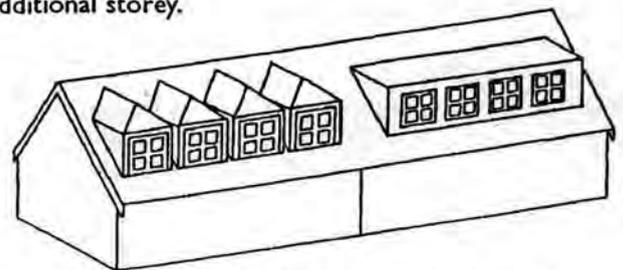
### UNACCEPTABLE DORMER

Unacceptable wall at the side

Unacceptable wall below sill level



Where more than one dormer window is proposed they should be spaced so as to appear as separate small projections from the surface of the roof and not so closely together that they appear to be an imperfectly finished additional storey. Equally unacceptable are proposals which would cause the effect of dormer development extending across from flank wall to flank wall, or flank wall to party wall of "semis" as they also give an appearance of an additional storey.



Unacceptable forms of dormer development

Unnecessary dormer development should be avoided. For example, if the rise of the stairs from ground floor to the roof space is designed to follow the rise of the roof, a roof light, rather than a dormer, inserted in the roof above will be a useful means of gaining light and ventilation, but it should be at the rear rather than at the front of the dwelling.

